

**Leon County Research and Development Authority  
Development Review Committee**

FSU IGNITE Building  
1729 West Paul Dirac Drive  
Tallahassee, FL 32310

Tuesday, May 12, 2026  
9:00am to 10:00am

Wi-Fi:  
"IGNITE Staff"

SSID:  
IGN!TEfsu24

**Agenda**

*Anyone wishing to submit written comments may do so by 9:00am the day before the scheduled meeting date so that the comments can be distributed to the Committee. Comments submitted after this time (up to the time of the meeting) will be accepted and included in the official record of the meeting. Email comments to: [publicinput@inn-park.com](mailto:publicinput@inn-park.com) and reference the meeting title and date in the subject line. Include your name and contact information. All times are approximate.*

**1. Call to Order**

**2. Introductions**

**3. Approval of Participation by Electronic Means**

*In accordance with the Bylaws, there being a quorum of members present in person, the members of the Committee present in person are required to approve participation by those participating via Electronic Means acknowledging that the absence is due to extraordinary circumstances.*

**4. Modifications to the Agenda**

**5. Public Comment**

*Any public comment received prior to the meeting will be provided to the Committee members in addition to any in-person public comment.*

**6. Approval of Draft Meeting Minutes, July 9, 2024 (Attachment A)**

**7. FSU Proposed New Electrical Equipment Yard and Screen Wall at the National High Magnetic Field Laboratory Building (MagLab), 1800 East Paul Dirac Drive (Attachments B, C, D, E)**

*The project focuses on replacing outdated electrical infrastructure at the MagLab with new, state-of-the-art equipment to increase electrical capacity, improve power quality, and support future magnet loads. The new equipment requires more space. The existing electrical equipment yard—currently*

*screened by a blue tile wall—will be expanded southward into a nearby parking area. A new equipment yard will be constructed, along with a new screen wall and enhanced landscaping.*

**9. New Business**

**10. Adjourn**

**Next Meeting**

Development Review Committee meets the second Tuesday of every month, as needed  
9:00am – 10:00am

**Leon County Research and Development Authority  
Development Review Committee**

Collins Building  
2051 East Paul Dirac Drive  
Tallahassee, FL 32310

July 9, 2024  
10:00am to 11:00am

**DRAFT Minutes**

**Members in Attendance:** Chair Michael Kramer, Dylan Haase, Ben Hood, Brad Richardson.

**Members Not in Attendance:** Kimberly Strobel-Ball.

**Guests:** Mary Jo Spector, FSU Research Facilities Design; Wesley Thigpen, Tomahawk Engineering and Consulting, Inc.; Alex Karns, AME Research Engineer; Peggy Bielby, LCRDA staff.

**1. Call to Order**

Chair Michael Kramer called the meeting to order at 9:59am.

**2. Introductions**

All present introduced themselves.

**3. Approval of Participation by Electronic Means**

As a quorum of committee members were present in-person no approval was needed.

**4. Modifications to the Agenda**

None.

**5. Public Comment**

None.

**6. Approval of Draft Meeting Minutes, September 12, 2023**

Dylan Haase offered a motion to approve the draft minutes. Ben Hood seconded the motion which passed unanimously.

**7. FSU Proposed Upgrade to the Wind Tunnel at the Aero-Propulsion, Mechatronics and Energy (AME) Center Building, 2003 Levy Avenue**

FSU seeks approval of its project to add an exterior heater to upgrade the wind tunnel at AME. It requires a shed roof to protect it. A fence will surround the heater for security purposes.

Mary Jo Spector explained that the previous AME project, approved by the DRC on February 14, 2023, added two new compressed air tanks to increase the amount/velocity of the compressed air being supplied to the wind tunnel. The system uses outside air. When the air is compressed, it gets cold, below

freezing. Water in the air becomes frozen/ice particles, which interferes with the research being conducted in the wind tunnel. This project will add a heater that will heat the air in the line to above freezing. Therefore, water will be a vapor and not solid.

*After discussion Dylan Haase offered a motion to conditionally approve the project subject to the stated conditions: fence height of 12 feet, to be planted with confederate jasmine; planting two crape myrtles or similar planting in the area; and determining where the existing corner of the AME building is relative to Engineering Way and assuring that the project canopy corner is within the required setback. Ben Hood seconded the motion which passed unanimously.*

**9. New Business**

None.

**10. Adjourn**

The meeting was adjourned at 10:18am.

Category	C&R	PUD	Complies (Comments)
<b>Permitted Land Uses</b>	Research, design, testing, analysis, prototype development, pilot scale production and limited product assembly purposes and for such other purposes, including administrative, professional and support services as the Authority may, in its sole judgment, determine to be an integral part of, related to or derivative of the aforesaid uses.		No change to Mag Lab purpose and use
	The Authority shall, in its sole discretion, determine whether or not any existing or proposed use of a Site is a permitted use within the meaning and intent of this Declaration. The foregoing iteration of permitted uses shall not, however, preclude the Authority from constructing, owning, operating, maintaining, leasing, or permitting service, commercial, administrative or recreational facilities within INNOVATION PARK/TALLAHASSEE, provided any such facilities are for the primary use, enjoyment and convenience of the Authority or the Tenants of INNOVATION PARK/TALLAHASSEE, their employees, agents and representatives.		NOTE: The project scope is limited to replacing existing antiquated electrical infrastructure at the Mag Lab. Due to phasing concerns and the need to expand electrical capacity, a new equipment yard will be created immediately south of the existing electrical equipment yard that is currently screened by a blue tile wall. A new screen wall will be provided along with new landscaping.
	No use will be permitted of any lands or space within INNOVATION PARK/TALLAHASSEE which fails to comport with the performance standards hereinafter set forth, nor shall any use be permitted which constitutes a nuisance, public or private, or which tends to damage or destroy public or private property, or which denigrates the integrity or character of the natural features of INNOVATION PARK/TALLAHASSEE.		No change to Mag Lab purpose and use
	The Authority reserves the right to require that any permitted production or product assembly operations be confined to specially designated areas within INNOVATION PARK/TALLAHASSEE.		No change to Mag Lab purpose and use
<b>Performance Standards</b>	Noise, smoke, particulate matter, toxic gases, fumes, vapors, vibration, glare and lighting, effluent discharge, disposal of waste materials, radiation and other matters of environmental concern.		No emissions from new project; new screen wall is intended to mitigate noise from the new electrical equipment
<b>Space Allocation &amp; Dimensional Standards</b>			
Minimum Site Size	Not less than 2 acres	2 acres	No change to lot size
Site Coverage Limitation	50% max impervious	Standard: 65% of site area	New gravel equipment yard will replace a portion of impervious parking and thus improve percolation at site
		Clustered: 100% of site within specific basin requirements	
East Basin		50%	NA
Central Basin		65%	NA
Western Basin		See PUD	NA
Setback Restrictions:			
Standard			

Company: \_\_\_\_\_

Date: \_\_\_\_\_

Site Development Review Checklist

Category	C&R	PUD	Complies (Comments)
From building to building on adjoining site	100'	200'	No change to building set backs
Front & side site lines	50'	50'	No change to building set backs
Rear site line	25'	25'	No change to building set backs
Natural vegetative buffer along rear and side site lines	25'	35' front on Paul Dirac East & West Drive	New equipment yard wall will be 35' from edge of roadway
Cluster setbacks:			
From any building on adjoining lot		25'	NA
Side to side site line		25'	NA
Rear site line		15'	NA
Height Limitations	45'	90' (eight stories)	New screen wall is approx. 14' high
<b>Parking and Loading</b>			
Parking:			
Space dimensions	9'w x 19'd		NA
Entrance and exits	Each parking space shall be directly accessible from a street, alley or other public right-of-way or from an adequate access aisle or driveway leading to or from a street, alley or other public right-of-way. All offstreet parking spaces shall be so arranged that no motor vehicle shall have to back into any street or public right-of-way. No entrance or exit driveway shall be permitted any nearer than fifty (50) feet from a street intersection.		NA - project does not include any new parking
Aisle widths	For four or more parking spaces		NA
	Parking Stall Angle--Aisle Width		NA
	30 degrees--11'		NA
	45 degrees--13'		NA
	50 degrees--14.5'		NA
	55 degrees--16'		NA
	60 degrees--17.5'		NA
	90 degrees--22' (or parallel and other configurations)		NA
Surface material and drainage	All offstreet parking, aisles, driveways, maneuvering areas		NA
Material	Hard, dustless, strength suitable to expected traffic		NA
Parking stalls	Clearly marked on the paved surface		NA
Parking setback:			
Front site line	30'		NA

Company: \_\_\_\_\_

Date: \_\_\_\_\_

Site Development Review Checklist

Category	C&R	PUD	Complies (Comments)
Side and rear site lines	25' and screened		NA
Maneuvering areas	Each Site shall contain paved maneuvering areas sufficient to accommodate maneuvering motor vehicles expected to result from loading, unloading and service operations, giving a clear view from the cab of the vehicle. Driveways and maneuvering areas shall meet the same surface material, maintenance and drainage requirements as are herein imposed on offstreet parking areas.		Existing driveways will remain
Driveway apron	Edge no closer than 50' from nearest adjacent site line unless adjacent site uses a common driveway.		NA
Number of spaces			
R&D Uses		2 per 250sf gross floor area up to 20,000 sf	NA
		2 per 2,000 sf 20,001-40,000 sf	NA
		2 per 4,000 sf above 40,001 sf	NA
Hotel		2 spaces per room	NA
Office and commercial uses		2 per 250sf	NA
Mixed Use		See PUD	NA
PUD Note: Parking standards shall be reduced as appropriate, consistent with the availability of alternative transportation modes			
Loading and			
Minimum loading area dimensions	25'L x 12' W x 14' H		NA
Other requirements	Must be on site and not onstreet.		NA
	Sufficient to accommodate expected traffic.		NA
	Conform to minimum standards required by City and County Code.		NA
	Located to the rear, or side if approved by DRC and appropriately screened.		NA
	Direct access to street or public right of way and not interfering with use of streets, parking areas or public right of way.		NA
Easements	The Authority reserves the right to cause the installation and maintenance of utilities, drainage and other facilities for the benefit of the Authority or its Tenants within the front and rear twenty-five (25) feet and within the fifteen (15) feet along each side of each Site.		Easement buffer of 25' is maintained in front of new screen wall

Category	C&R	PUD	Complies (Comments)
	The Authority further reserves the right to grant easements for the installation of utilities, drainage and other facilities for the benefit of the Authority or its Tenants through individual Sites, provided that in so doing the Authority does not cause any damage to existing Buildings or improvements or require a change in any construction plans which the Committee has previously approved.		Easement buffer of 25' is maintained in front of new screen wall
	All easements given for the benefit of an individual Site shall be subject to the prior approval of the Committee.		Easement buffer of 25' is maintained in front of new screen wall
	All easement areas located within a Site and all improvements in such easement areas shall be continuously maintained by the Tenant of such Site, except for those improvements for which a public authority or utility company is responsible.		Easement buffer of 25' is maintained in front of new screen wall
<b>Architectural and Aesthetic Standards</b>			
Landscaping	All Buildings and other improvements on any Site shall be placed so that the existing topography and vegetation is disturbed as little as possible and so that the maximum number of desirable trees and natural features is preserved.		Refer to drawing L-100 for the new Landscape plan. New trees and shrubs will be provided in a continuous planted area along the outside of the new screen wall to soften the appearance of the new wall and to provide landscape enhancement to an area that was previously a bare grassed area. The plan includes six (6) new trees - (4) East Palatka Hollies and (2) Sabal Palms.
	No tree may be removed or other natural feature altered except with the prior written approval of the Committee.		
	Each Site on which a building is to placed shall be landscaped in accordance with the plans and specifications submitted to and approved by the Committee.		
	The approved landscaping shall be completed no later than the date upon which the Building is completed or occupied, whichever first occurs.		
	A twenty-five (25) foot landscape strip shall be installed along the front, rear and side Site lines, exclusive of driveways.		
	Within the twenty-five (25) foot landscape strip there shall be planted and maintained trees and other vegetation native, where practicable, to the area providing at least fifty percent (50%) visual opacity.		
	All areas not covered by an impervious surface shall be landscaped, sodded or seeded.		
	All offstreet parking, loading and unloading areas shall be screened from view from other Sites and from public roads, streets, and rights-of-way by the use of earth berms or other landscaping materials.		
	All trees, plants, shrubs and other landscaping materials shall be of varieties that are adaptable to the local soil and climate conditions and shall blend with existing natural growth and be compatible with adjacent landscaped areas.		

Category	C&R	PUD	Complies (Comments)
Exterior construction	Finish building materials shall be applied to all sides of any Building which are visible to the general public or to neighboring Sites or Common Areas. Exterior colors shall be compatible with the colors of the natural surroundings and other adjacent Buildings. The approval or disapproval of the exterior construction materials and colors shall be at the sole discretion of the Committee.		Colors for the new masonry block wall will be coordinated with the existing facility and submitted for approval. The existing blue tiled wall off the service drive will be demolished, allowing opportunity for integration of new color at the site
Signs	Only identification signs indicating the name and business of the persons or entities occupying the Site shall be permitted.		Primary facility signage will remain on the main building. The blue screen wall off the service drive will be demolished and replaced with a new screen wall around the enlarged equipment yard. This new wall will have two wall areas reserved for new signage that will be part of a later project involving the FSU Master Craftsman shop.
	Advertising signs, billboards or other signs are expressly prohibited. Identification signs shall generally be placed on the outside wall or walls of the Building but shall not extend above the line of the roof meeting that wall.		
	With the advance written approval of the Committee, signs may be placed in the front yard landscape strip if constructed and designed to be a part of the landscaping element. Otherwise, no sign in the front yard setback area shall be permitted.		
	Painted signs, signs on the roofs of Buildings, and flashing or moving signs are prohibited.		
	No signs shall be placed or externally illuminated in such a manner as to cast glare on neighboring Sites or in such a manner as to impede the safe movement of traffic.		
	All signs shall be designed, erected, altered, moved and maintained in accordance with plans and specifications submitted to and approved by the Committee in writing.		
Outside Storage	No temporary Building, structure or other improvement shall be permitted on any Site except during the period of construction of the permanent Building and then only with the advance written approval of the Committee.		The project involves no outside storage
	No outside storage shall be permitted within the minimum Building setback areas nor shall any outside storage be permitted in the front yard of any Site.		NA
	When outdoor storage would otherwise be visible from a public road, street, or right-of-way it must be screened from view by a wall of material similar to and compatible with that of the Building or Buildings on the Site.		NA

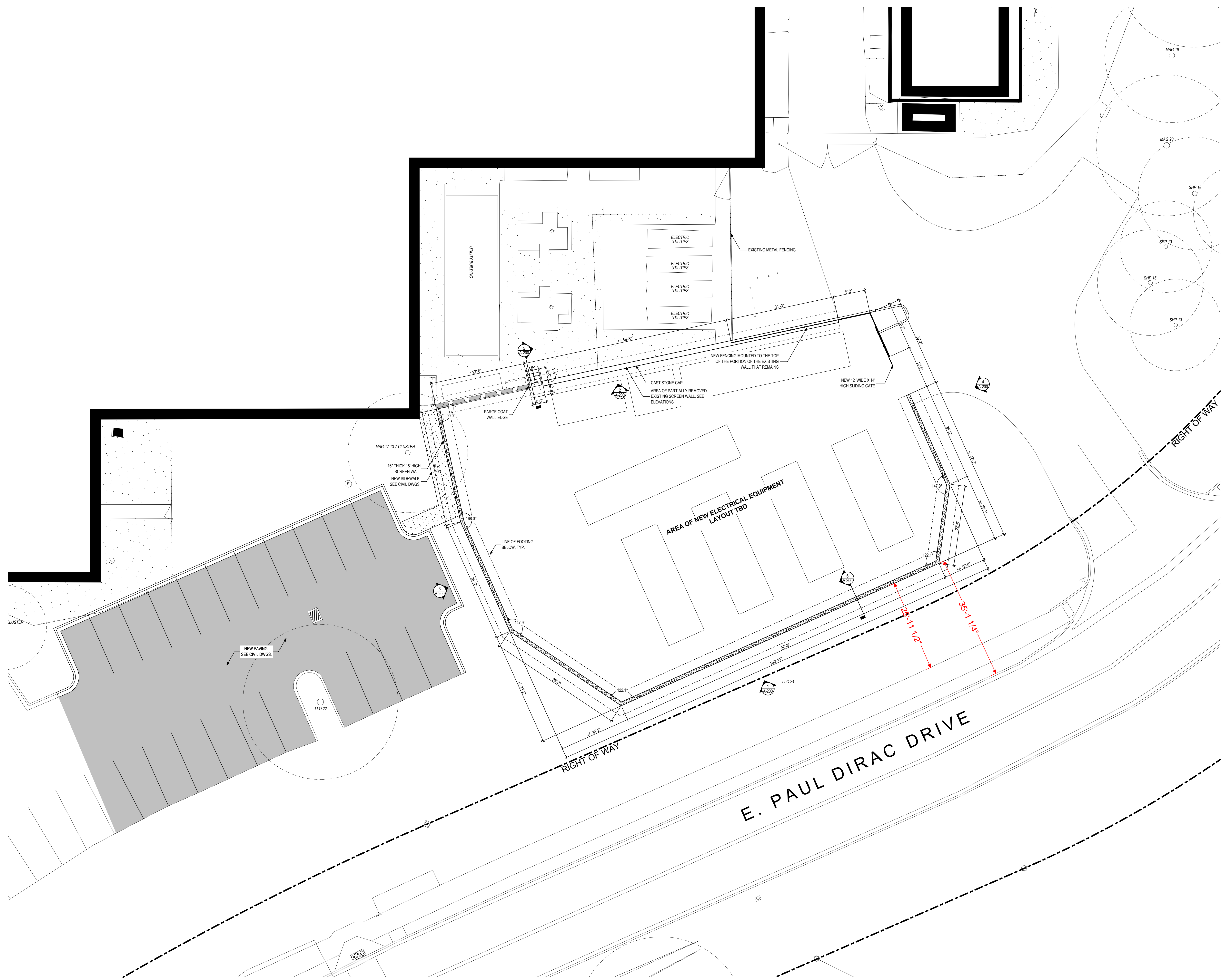
Category	C&R	PUD	Complies (Comments)
	Garbage and refuse containers shall be concealed and contained within the Building or Buildings on a Site or shall be screened by a screening wall of the kind described above. Unless specifically approved by the Committee in writing, no materials, supplies or equipment shall be stored on any Site except in a closed Building or behind a screening wall so that such storage areas are not visible from neighboring Sites, Common Areas or public roads, streets or rights-of-way.		NA
	All proposals for outside or outdoor storage shall be subject to the advance written approval of the Committee.		NA
Utilities Placement & Design			
	All electrical, utility and telephone lines serving the Sites shall be brought underground.		Complies - utility lines will remain underground
	Padmounted electrical transformers, heating and airconditioning units, mechanical meters and storage tanks shall be located in such a manner as not to be visible from any public road, street or right-of-way or from Common Areas or other Sites.		Complies - a new enlarged screen wall area will conceal the new electrical transformers and switchgear enclosures
	If concealment within the Building is not possible then such utility elements shall be concealed by screening.		
	No transformer, electric, gas or other meter of any type or other apparatus shall be hung on the outside of any Building but the same may be placed on or below the surface and when thus placed at ground level shall be adequately screened from view.		
	Penthouses and mechanical equipment screen walls shall be of a design and constructed of materials similar to and compatible with those of the Building to which they pertain.		Complies - new screen wall finishes will be coordinated to be compatible with the existing facility
	All exterior lighting shall be designed, erected, altered, moved and maintained in accordance with plans and specifications submitted to and approved in writing by the Committee.		Complies - there are minimal impacts to the existing site lighting
	The placement of power or other utility poles, except temporarily during construction, is expressly prohibited.		Complies - utility power lines will remain underground
	It is the declared intention of the Authority that to the extent possible exterior lighting be compatible and harmonious throughout INNOVATION PARK/TALLAHASSEE.		Complies - New exterior lighting will consist of wall mounted fixtures that are hidden behind the new screen wall and thus have no visual impact to the community
	Antennae shall be visually masked or screened to the extent possible consistent with appropriate electromagnetic considerations and shall in any event be subject to the prior written approval of the Committee.		Complies - no antennae in this project
<b>PUD Minimum Development Standards (not otherwise described in C&amp;R)</b>			

Company: \_\_\_\_\_

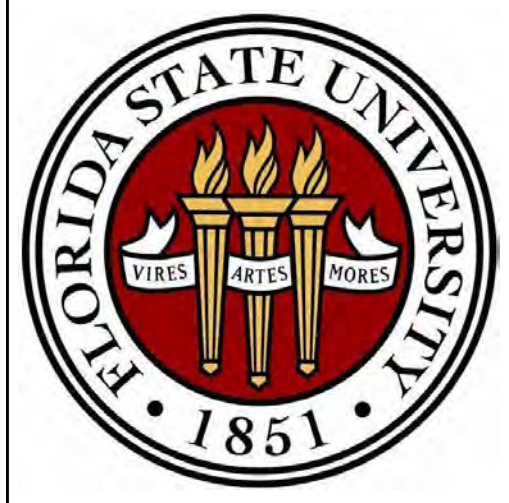
Date: \_\_\_\_\_

Site Development Review Checklist

Category	C&R	PUD	Complies (Comments)
Zoning		PUD	Complies - project will not impact PUD; scope is limited to replacement of existing antiquated electrical infrastructure
Development Schedule Staging		Continuous build out of master	
Comprehensive Plan Compliance--Future land use map type		Suburban	
Consistency & Concurrence Requirements		Stormwater/Water/SS impact must be determined	
Parking (minimum when fully built out):			
Light industrial (all R&D uses)		1900 spaces	
Commercial		60 spaces	
Traffic Generation			
Daily Vehicle Trips		12006	
Peak Hour VehiclesTrips		1918	
PUD Note: Concurrence and mitigation requirements for any additional development that would generate additional vehicle trips in excess of the number of vested trips will be addressed at the time the development is proposed.			
Sidewalks		Required on any public street frontage	
<b>Landscape Design Standards and Approved Plant List from PUD:</b>			
All future development within Innovation Park shall be designed per the appropriate City of Tallhassee Land Development Code Standards in effect at the time of final development plan submittal for individual site plans with the PUD, to the extent such standards are not inconsistent with the PUD. Landscape plans will be subject to LCRDA review as well as City of Tallahassee and shall comply with the Architectural and Aesthetics standards within the Protective Covenants and Restrictions for Innovation Park. Prior to issuance of a development order an onsite tree mitigation area shall be established for purposes of meeting urban forest requirements.			Complies - project is limited to replacement of critical electrical infrastructure at the existing facility and is therefore not a "new development"
<b>Review and approval notes from PUD:</b>			
A. Proposed development submitted subsequent to the approval of this PUD concept plan shall be reviewed through the appropriate site plan process pursuant to the LCRDA resolution June 16, 1993 for compliance with the PUD.			Complies - project will not impact PUD; scope is limited to replacement of existing antiquated electrical infrastructure
B. Any development standard not specifically addressed in this document shall comply with the appropriate City of Tallahassee Land Development Code standards in effect at the time of final development plan submittal for individual site plans within the PUD, to the extent such standards are not inconsistent with the PUD.			



**Construction Notes**  
 [Symbol] REPRESENTS NOTE ON PLANS



**SOUTHERN STANDARD CONSTRUCTION**  
 SOUTHERN STANDARD CONSTRUCTION, LLC  
 3333 THOMASVILLE ROAD  
 TALLAHASSEE, FL 32309  
 850.745.4525  
 CC01263819

**AEI Affiliated Engineers**  
 Affiliated Engineers, Inc.  
 Toigo Town Center, 12921 SW 1st Road Ste 205  
 Newberry, FL 32060  
 Tel 352.376.5500  
 License #: CA-5140

**ALW**  
 Architects Lewis + Whitlock  
 Architects Lewis + Whitlock  
 206 West Virginia St.  
 Tallahassee, Florida 32301

**MB**  
 MOORE BASS CONSULTING  
 Moore Bass Consulting Inc.  
 805 N Gadsden Street  
 Tallahassee, Florida 32303

Issuance and Revisions		
Rev	Date	Description

Project Title  
**FS-2000062  
 FSU NHMFL  
 SWITCHGEAR  
 & DYNAMIC  
 VAR SYSTEM  
 REPLACEMENT**

Project Phase  
**DESIGN  
 DEVELOPMENT**

Sheet Title  
**Architectural Site Plan**

Scale  
**AS SHOWN**

Date Issued  
 01/24/2025  
 Drawn By  
 B. BAYLOR

Project No.  
 SSC: 19138-286  
 AEI: 24744-00

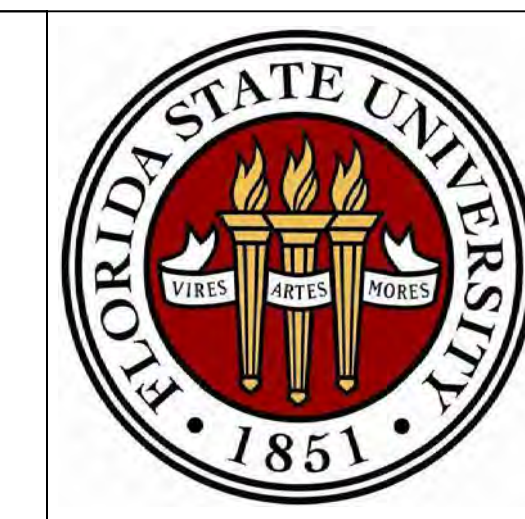
Sheet No.  
**A-100**

**Drawing Legend**

[Symbol]	EXISTING PARTITION TO REMAIN
[Symbol]	EXISTING CONSTRUCTION W/ NEW INTERIOR LAYER
[Symbol]	NEW WALL
[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	NEW CONSTRUCTION
[Symbol]	CONSTRUCTION ABOVE
[Symbol]	CONSTRUCTION BELOW

**NOT FOR CONSTRUCTION**

**1 Architectural Site Plan**  
 3/32" = 1'-0"



**SOUTHERN STANDARD CONSTRUCTION**  
SOUTHERN STANDARD CONSTRUCTION, LLC  
3333 THOMASVILLE ROAD  
TALLAHASSEE, FL 32309  
850.745.4525  
CC0126388

**AEI Affiliated Engineers**  
Affiliated Engineers, Inc.  
Togga Town Center  
12921 SW 1st Road, Ste 205  
Newberry, FL 32669  
Tel 352.376.5500  
License #: CA-5140

**ALW**  
Architects Lewis + Whitlock  
Architects Lewis + Whitlock  
206 West Virginia St.  
Tallahassee, Florida 32301



Moore Bass Consulting Inc.  
805 N Gadsden Street  
Tallahassee, Florida 32303  
  
Lindsey H. Fenstermaker  
State of Florida, Professional Engineer,  
License No. 75432  
**PRELIMINARY, NOT FOR CONSTRUCTION**

Issuance and Revisions

Rev	Date	Description

Project Title  
**FSU-2000062  
FSU NHMFL  
SWITCHGEAR  
& DYNAMIC  
VAR SYSTEM  
REPLACEMENT**

Project Phase  
**60% CONSTRUCTION  
DOCUMENTS**

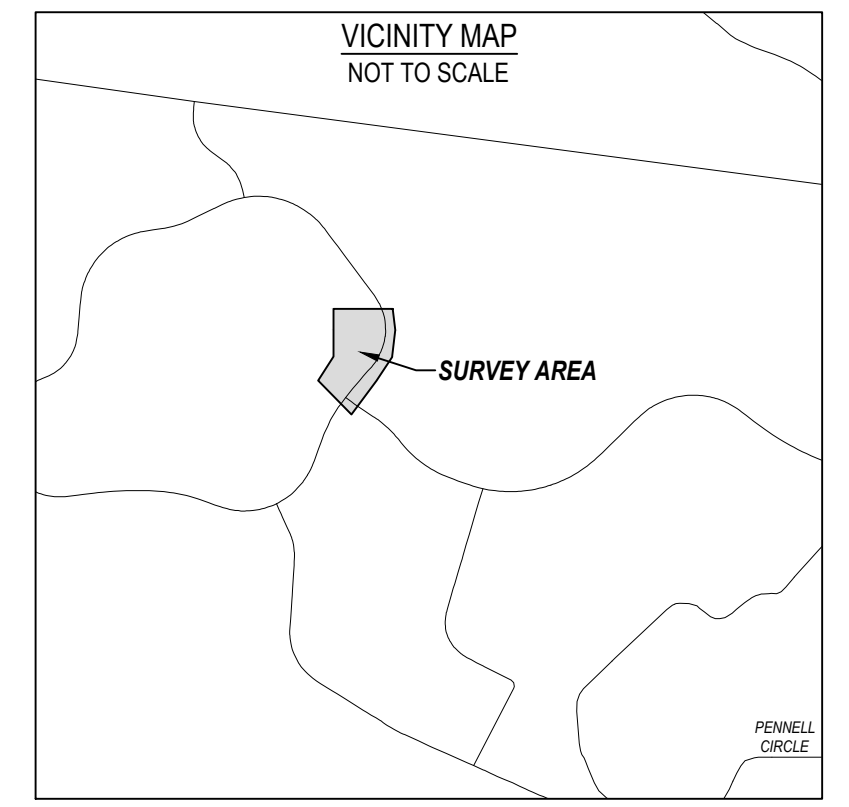
Sheet Title  
**CIVIL EXISTING  
CONDITIONS MAP**

Scale  
1" = 20'

Date Issued  
3/27/2026

Project No.  
SSC-19138-286  
AEI: 24744-00

Sheet No.



- HATCH LEGEND:**
- ASPHALT PAVEMENT
  - CONCRETE PAVEMENT
  - BUILDING
  - ADA MAT
  - GRAVEL / RIP-RAP
  - COVERED AREA

- TREE ABBREVIATIONS:**
- | ABBREVIATION | COMMON NAME       |
|--------------|-------------------|
| CRY          | BLACK CHERRY      |
| LLO          | LAUREL OAK        |
| LYP          | LOBLOLLY PINE     |
| MAG          | SOUTHERN MAGNOLIA |
| RED          | RED MAPLE         |
| SP           | SPRUCE PINE       |
| SLP          | SLASH PINE        |
| WGE          | WINGED ELM        |
| WRO          | WATER OAK         |

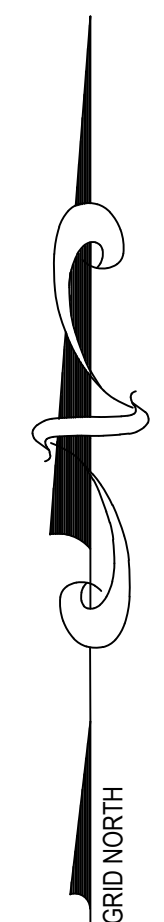
- SYMBOL LEGEND:**
- FOUND IRON ROD (AS LABELED)
  - FOUND CONCRETE MONUMENT (AS LABELED)
  - UTILITY POLE
  - LIGHT POLE
  - ELECTRIC MANHOLE
  - ELECTRIC BOX
  - FIRE HYDRANT
  - WATER VALVE
  - WATER METER
  - BACKFLOW PREVENTER
  - IRRIGATION CONTROL VALVE
  - SANITARY SEWER MANHOLE
  - SEWER CLEANOUT
  - CATCH BASIN
  - STORM MANHOLE
  - STORMWATER CLEAN OUT
  - FIBER OPTIC SIGN
  - CABLE BOX
  - SINGLE SUPPORT SIGN

- LINE LEGEND:**
- RIGHT-OF-WAY
  - CHAIN LINK FENCE
  - ADJACENT BOUNDARY
  - WATER MAIN
  - SEWER MAIN
  - STORM MAIN
  - GAS MAIN
  - BURIED ELECTRIC
  - CONTOUR
  - SSMC BURIED ELECTRIC
  - SSMC BURIED TELEPHONE
  - SSMC FIBER
  - SSMC GAS
  - SSMC SEWER
  - SSMC UNKNOWN
  - SSMC WATER
  - IRRIGATION LINE

- STANDARD ABBREVIATIONS:**
- DI DEED INFORMATION
  - SI SURVEY INFORMATION
  - ADA AMERICANS WITH DISABILITIES ACT
  - CH CHORD BEARING AND DISTANCE
  - Δ Δelta or CENTRAL ANGLE
  - E EAST
| FCM | FOUND 4"X4" CONCRETE MONUMENT (AS LABELED) |
| FIE | FINISHED FLOOR ELEVATION |
| FR | FOUND IRON ROD (AS LABELED) |
| FR | FOUND IRON ROD AND CAP (AS LABELED) |
| D | IDENTIFICATION |
| INV | INVERT |
| L | ARC LENGTH |
| LB | LICENSED BUSINESS NUMBER |
| MH | MANHOLE |
| N | NORTH |
| ORBP | OFFICIAL RECORDS BOOK AND PAGE |
| PIC | POLYVINYL CHLORIDE PIPE |
| R | RADIUS |
| RC | REINFORCED CONCRETE PIPE |
| RW | RIGHT-OF-WAY |
| S | SOUTH |
| SDM | STORM DRAIN MANHOLE |
| SSC | SANITARY SEWER CLEANOUT |
| SSMC | SOUTHEASTERN SURVEYING AND MAPPING CORPORATION |
| SSMH | SANITARY SEWER MANHOLE |
| SUE | SUBSURFACE UTILITIES |
| SWCO | STORMWATER CLEANOUT |
| TITF | TRUSTEES OF THE THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA |
| W | WEST |

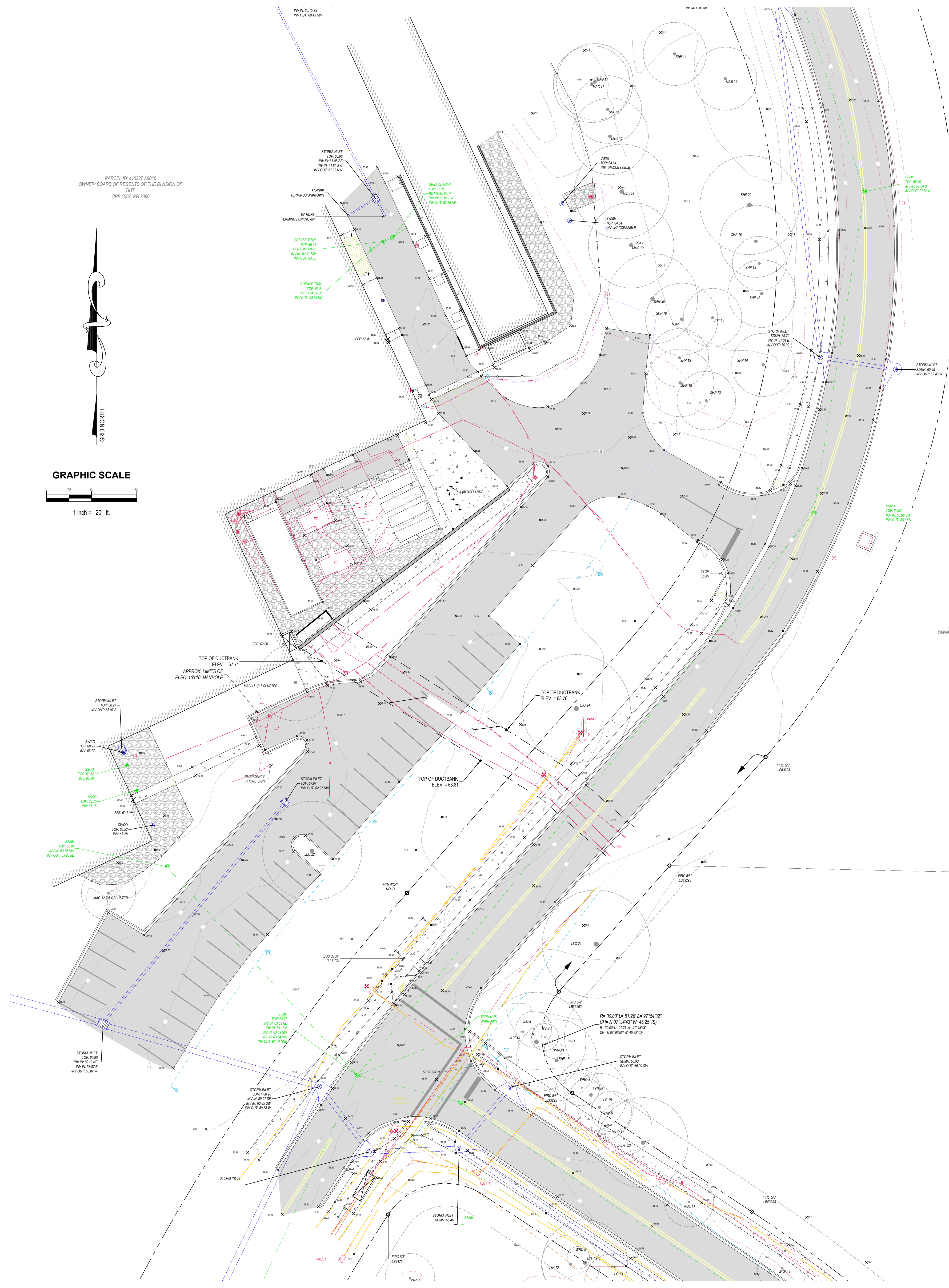
- GENERAL NOTES:**
- NO IMPROVEMENTS LOCATED OTHER THAN SHOWN HEREON.
  - THE MAPPED FEATURES SHOWN WERE PRODUCED UNDER THE RESPONSIBLE CHARGE OF THE SIGNING SURVEYOR AND MAPPER.
  - HORIZONTAL DATA BASED ON GLOBAL NAVIGATION SATELLITE SYSTEM OBSERVATIONS WITH CORRECTIONS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK AND REFERENCED TO THE FLORIDA NORTH ZONE, STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (2011 EPOCH 2010).
  - ELEVATIONS BASED ON GLOBAL NAVIGATION SATELLITE SYSTEM OBSERVATIONS WITH CORRECTIONS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK, USING THE AMERICAN VERTICAL DATUM 1988.
  - GROUND DISTANCES AND MEASUREMENTS SHOWN HEREON IN US SURVEY FEET, UNLESS NOTED OTHERWISE.
  - NO SUBSURFACE FOUNDATIONS OF THE BUILDINGS SHOWN HEREON OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
  - THIS IS NOT A BOUNDARY SURVEY.
  - ADDITIONS OR DELETIONS TO THIS SURVEY BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  - ALL UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE. ANY UTILITIES NOT SHOWN ARE LACKING SURFACE EVIDENCE TO MAKE A DETERMINATION OF LOCATION IN THE FIELD. SUBSURFACE UTILITY SHOWN HEREON PER SUBSURFACE UTILITY SURVEY PERFORMED BY SOUTHEASTERN SURVEYING AND MAPPING CORPORATION, THE DATA FROM SAID SURVEY BEING RECEIVED BY MOORE BASS CONSULTING, INC. ON LINE 18, 2024 (SEE THE LEGEND FOR SSMC SUE DATA LINE TYPE DESIGNATIONS).
  - THE TREE SPECIES SHOWN HEREON WERE DETERMINED BY SURVEY FIELD CREWS TO THE BEST OF THEIR ABILITY. NEITHER THE SIGNING SURVEYOR NOR MOORE BASS MAKE ANY GUARANTEE AS TO THE SPECIES SHOWN HEREON. CONSULT A PROFESSIONAL, IF EXACT SPECIES ARE NEEDED.
  - BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 12073C 0287 F, REVISED AUGUST 18, 2009 THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE "X".
  - ALL REFERENCES TO RECORDED DOCUMENTS CONTAINED HEREIN ARE TO THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA, UNLESS NOTED OTHERWISE.
  - NO ENCROACHMENTS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
  - THE UNDERSIGNED SURVEYOR HAS NOT BEEN PROVIDED A CURRENT TITLE OPINION OR ABSTRACTION OF MATTERS AFFECTING TITLE OR BOUNDARY TO THE SUBJECT PROPERTY. IT IS POSSIBLE THERE ARE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.

PARCEL ID: 410327 A040  
OWNER: BOARD OF REGENTS OF THE DIVISION OF TITF  
ORB 1507, PG 2380

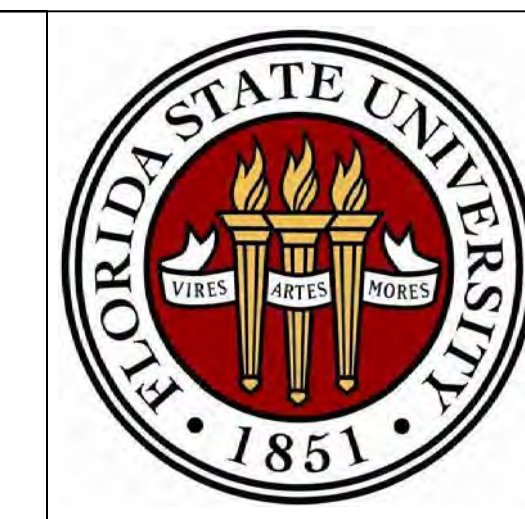


**GRAPHIC SCALE**  
1 inch = 20 ft

PARCEL ID: 410327 C090  
OWNER: FSU BOARD OF TRUSTEES  
TITF  
ORB 1031, PG 1536







**SOUTHERN STANDARD CONSTRUCTION**  
SOUTHERN STANDARD CONSTRUCTION, LLC  
3333 THOMASVILLE ROAD  
TALLAHASSEE, FL 32309  
850.745.4525  
CC0126388

**AEI Affiliated Engineers**  
Affiliated Engineers, Inc.  
Togga Town Center  
12921 SW 1st Road, Ste 205  
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License # CA-5140

**ALW**  
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Architects Lewis + Whitlock  
206 West Virginia St.  
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Moore Bass Consulting Inc.  
805 N Gadsden Street  
Tallahassee, Florida 32303

Lindsay H. Fenstermaker  
State of Florida, Professional Engineer,  
License No. 75432

**PRELIMINARY, NOT FOR CONSTRUCTION**

Issuance and Revisions		
Rev	Date	Description

Project Title  
**FS-2000062  
FSU NHMFL  
SWITCHGEAR  
& DYNAMIC  
VAR SYSTEM  
REPLACEMENT**

Project Phase  
**60% CONSTRUCTION  
DOCUMENTS**

Sheet Title  
**GEOMETRY PLAN**

Scale  
1" = 20'

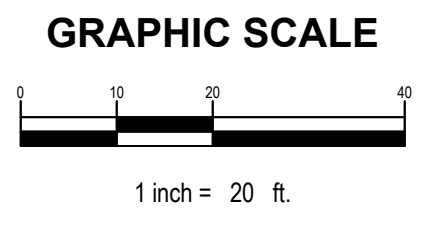
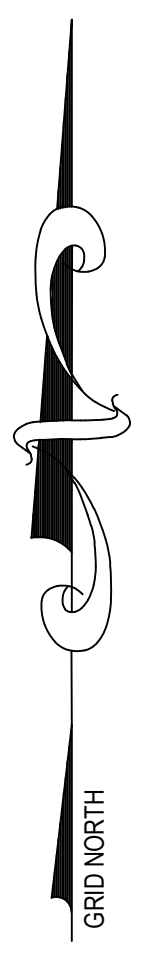
Date Issued 03/27/2026 Drawn By MB

Project No. SSC-19138-286  
AEI: 24744-00

Sheet No.  
**C-300**

PARCEL ID: 410327 A040  
OWNER: BOARD OF REGENTS OF THE DIVISION OF  
T17F  
ORB 1917, PG 2360

PARCEL ID: 410327 C0069  
OWNER: FSU BOARD OF TRUSTEES  
T17F  
ORB 1001, PG 1938

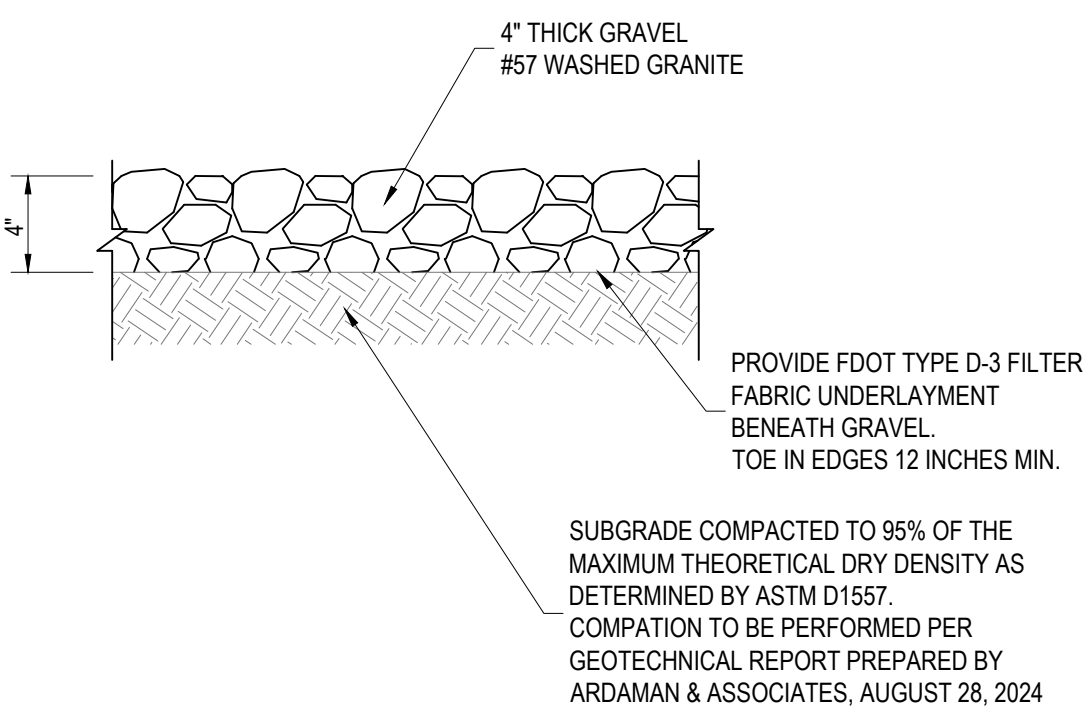
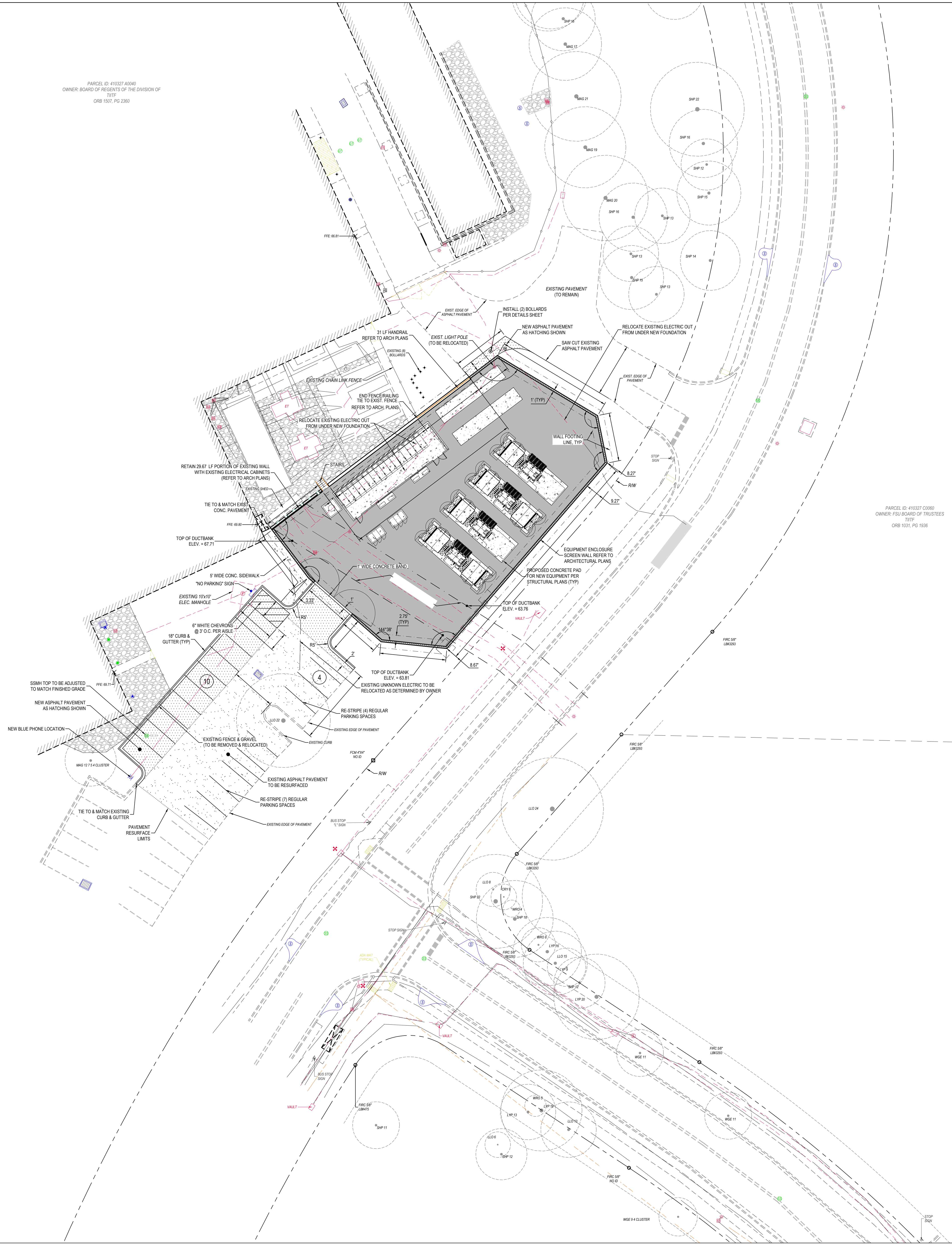


**LEGEND**

	PROPOSED STANDARD ASPHALT PAVEMENT
	RESURFACE ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED GRAVEL PAVEMENT PER DETAIL THIS SHEET
	EXISTING GRAVEL PAVEMENT

**SITE DATA**

1 PROPERTY TAX ID #:	410327 A040
2 ZONING:	PUD
3 TOTAL PROJECT CLEARING AREA	24,228 SF
4 EXISTING IMPERVIOUS AREAS TO BE REMOVED: ASPHALT & MISC. CONCRETE (CURB & GUTTER, WALKS, ETC.)	7,856 SF
TOTAL EXISTING IMPERVIOUS AREAS TO BE REMOVED:	7,856 SF
5 PROPOSED IMPERVIOUS AREAS: ASPHALT PAVEMENT	2,170 SF
MISC. CONCRETE (CURB & GUTTER, WALKS, WALL, PAD, ETC.)	4,137 SF
TOTAL PROPOSED IMPERVIOUS AREAS:	6,307 SF
6 PROPOSED GRAVEL AREA:	7,995 SF



NOTE: WASHED GRANITE SHALL CONSIST OF LIMITED TO NO FINE MATERIAL. ELECTRICAL RESISTIVITY SHALL BE MEASURED PER BPA ROCK RESISTIVITY TEST PROCEDURE TESTING A MINIMUM OF 3,000 OHM-METERS. MATERIAL SHALL HAVE MINIMUM OF TWO MECHANICALLY FRACTURED FACES ON 100% OF ALL PARTICLES LARGER THAN THE 30-MESH SIEVE AND THREE MECHANICALLY FRACTURED FACES ON 70% OF THE SAME PARTICLES.

**GRAVEL PAVING DETAIL**  
NOT TO SCALE







**SOUTHERN STANDARD CONSTRUCTION**  
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**ALW**  
Architects Lewis + Whitlock  
Architects Lewis + Whitlock  
206 West Virginia St.  
Tallahassee, Florida 32301



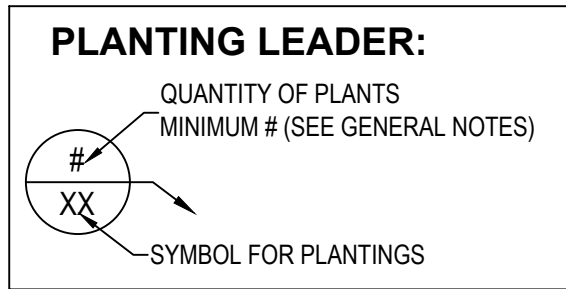
Moore Bass Consulting Inc.  
805 N Gadsden Street  
Tallahassee, Florida 32303

**TREE DEBITS (SEE DEMOLITION PLAN)**  
\*See Tree List for Individual Tree Information

Grand Total Debits:	20										
<b>PROPOSED TREE CREDITS</b>											
*Tree trunk diameter measurement shall be rounded off to the nearest inch											
Diameter of Tree (Inches DBH)	Category A Credits	Category B Credits	Category C Credits	Category D Credits	Category E Credits	Category F Credits	Category G Credits	Category H Credits	Category I Credits	Category J Credits	Category K Credits
7-12	3	0	0	6	0	0	8	0	0	16	0
4-6	2	4	8	5	0	0	0	2	12	8	0
2-3	1	0	0	3	0	0	0	4	0	6	0
Planted Totals:	8	4	8	3	0	0	0	4	0	12	0
Grand Total Planted Credits:	20										

**LANDSCAPE NOTE:**

- WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT SHALL BE A MINIMUM OF TEN FEET FROM THE UNDERGROUND UTILITY OR A ROOT BARRIER OF TWO FEET DEEP SHALL BE INSTALLED.
- PRUNE TREES BETWEEN 3' AND 8' IN HEIGHT.

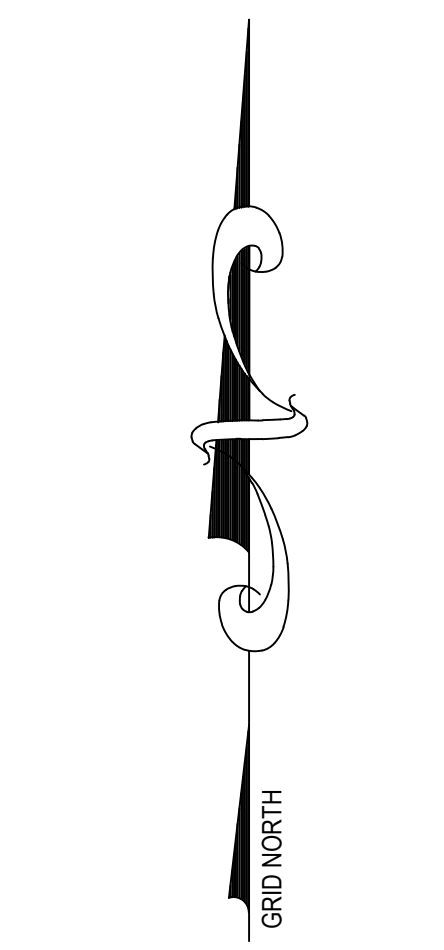


**PLANTING SCHEDULE**

	SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
<b>TREES</b>		4 - CAT A	EAST PALATKA HOLLY	ILEX X ATTENUATA 'EAST PALATKA'	10-12' HT. X 5-6' SPR., 4" CAL., 45 GAL.
		SP	SABAL PALM	SABAL PALMETTO	10-12' HT. X 5-6' SPR., 3" CAL., 45 GAL.
		2 - CAT D	LIVE OAK	QUERCUS VIRGINIANA	10-12' HT. X 5-6' SPR., 4" CAL., 45 GAL.
<b>SHRUBS</b>		MC	PINK MUHLY GRASS	MUHLENBERGIA CAPILLARIS	30" O.C., 2 GAL.
		IF	FLORIDA ANISE	ILLICIUM FLORIDANUM	24" x 24", 3" O.C., 7 GAL.
		AG	PERENNIAL PEANUT	ARACHIS GLABRATA	12" O.C., 1 GAL.
		ZP	COONTIE PALM	ZAMIA PUMILA 'COONTIE'	24" x 24", 3" O.C., 7 GAL.
		SOD	SOD	EREMOCHLOA OPHUROIDES	SOD ALL DISTURBED AREAS NOT OTHERWISE PAVED OR LANDSCAPED

**NOTES:**

- PLANT TREES BETWEEN SCREEN WALL & BACK OF SIDEWALK. TREES SHALL BE 10'-18" FROM WALL.
- PLANTED TREES SHALL BE 10' AWAY FROM BURIED ELEC. LINES & WALL.



**Issuance and Revisions**

Rev	Date	Description

Project Title  
**FS-2000062  
FSU NHMFL  
SWITCHGEAR  
& DYNAMIC  
VAR SYSTEM  
REPLACEMENT**

Project Phase  
**60% CONSTRUCTION  
DOCUMENTS**

Sheet Title  
**LANDSCAPE PLAN**

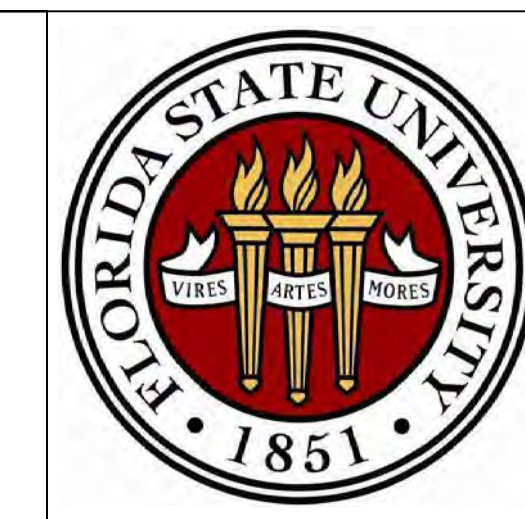
Scale  
1" = 10'

Date Issued  
03/27/2026

Drawn By  
MB

Project No.  
SSC-19138-286  
AEI-24744-00

Sheet No.



**LANDSCAPE/INSTALLATION SPECIFICATIONS:**

**1. IRRIGATION**  
AN IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS. IRRIGATION OF PLANTINGS SHALL COMPLY WITH THE WATER MANAGEMENT GUIDELINES OF THE REGION. IRRIGATION SHALL BE PROVIDED THROUGHOUT THE SPRING, FALL, AND IN SUMMER DROUGHT PERIODS. IRRIGATE EVERYDAY FOR THE FIRST 90 DAYS AFTER APPROVED INSTALLATION.

**2. SOIL:**  
CONTRACTOR SHALL SUBMIT A SOIL TEST FROM EXISTING STOCKPILED TOPSOIL, IF ANY, TO DETERMINE THE TYPE AND AMOUNT OF AMENDMENTS NEEDED FOR THE AREA THAT IS TO RECEIVE STOCKPILED TOPSOIL. INVESTIGATE AND CORRECT ANY UNSUITABLE SOIL CONDITIONS. NEW TOPSOIL SHALL BE FERTILE, FRAGILE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN ONE (1) INCH IN ANY DIRECTION, AND ANY OTHER MATTER HARMFUL TO PLANT GROWTH.

SOIL AMENDMENT:  
-LIME: ONLY IF SOIL TEST INDICATES A NEED, NATURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES, GROUND SO THAT NOT LESS THAN 90% PASSES A 10- MESH SIEVE AND NOT LESS THAN 50% PASSES A 100- MESH SIEVE.  
-SAND: CLEAN, WASHED BUILDERS SAND, FREE OF SALT, WEEDS, STICKS AND OTHER DEBRIS.  
-ORGANIC MATERIAL: PINE BARK CHUNKS NOT GREATER THAN 3/4" DIAMETER.  
-FLORIDA PEAT

PLANTING SOIL MIXTURE SHALL CONSIST OF 1/3 PARTS ORGANIC SOIL MATERIAL TO 1/3 PARTS "FLORIDA PEAT" OR EQUIVALENT TO 1/3 PARTS CLEAN, WASHED BUILDERS SAND AND LIME AS REQUIRED TO BRING THE PH TO 5.5 OR 6.0.

**3. SPRAYS:**  
THE USE OF BROAD SPECTRUM INSECTICIDES IS DISCOURAGED. SPRAYS SHALL BE DILUTED AS DIRECTED. THE PLANT SHALL BE UNIFORMLY SPRAYED INCLUDING THE UNDERSIDE OF LEAVES. DRIFT SHALL BE MINIMIZED BY SPRAYING IN THE EARLY MORNING OR EVENING, WHEN THERE IS LITTLE BREEZE.

**4. PLANT MATERIAL:**  
PROVIDE PLANT MATERIAL COMPLYING WITH FLORIDA #1 CLASSIFICATION IN "GRADES AND STANDARDS FOR NURSERY PLANTS, SECOND EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY, GAINESVILLE, FLORIDA. PROVIDE TREES AND SHRUBS GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. PROVIDE HEALTHY, VIGOROUS STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS OR DISFIGUREMENTS.

WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION. REMOVE AND REPLACE TREES, SHRUBS OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD. PLANT MISSING TREES, SHRUBS AND GROUND COVER. MAKE REPLACEMENTS DURING GROWTH SEASON FOLLOWING END OF WARRANTY PERIOD, OR AS REQUESTED BY OWNER. FURNISH AND PLANT REPLACEMENTS WHICH COMPLY WITH REQUIREMENTS SHOWN AND SPECIFIED.

**5. INSTALLATION:**  
EXCAVATION FOR TREES: EXCAVATE WELL WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION AT A LEVEL SO THAT THE TOP OF THE ROOT BALL OF THE PLANT IS 10% HIGHER THAN THE FINISH GRADE. EXCAVATION FOR PALMS AND SHRUBS: SET THE TOP OF THE ROOT BALL AT THE SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES OR UP TO ONE-HALF INCH HIGHER, BUT NOT LOWER THAN ADJACENT GRADES. EXCAVATIONS MUST BE AT LEAST TWICE AS WIDE AS THE PLANT'S ROOT BALL DIAMETER. DISPOSE OF UNUSABLE SUBSOIL REMOVED FROM LANDSCAPED EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.

TREES AND SHRUBS SHALL NOT BE PLANTED CLOSER THAN THREE (3) FEET FROM THE EDGE OF ANY IMPERVIOUS AREA.

PLANTING OF TREES, PALMS AND SHRUBS: SET THE TOP OF THE ROOT BALL TO THE CORRECT HEIGHT AS INDICATED. ONCE THE PLANT IS SET, RE-FILL THE HOLE WITH BACKFILL SOIL, FIRING IT AS IT IS ADDED TO ELIMINATE VOIDS AND AIR POCKETS. WATER PLANTS THOROUGHLY AFTER ADDING BACKFILL. WHEN PLANTING PALMS, REMOVE BURLAP FROM SIDES OF ROOT BALL. DISH TOP OF PLANTING SOIL MIXTURE TO ALLOW FOR MULCHING.

MULCH TREE WELLS AND PLANTED AREAS. PROVIDE NOT LESS THAN TWO (2) INCHES OF MULCH. APPLY ANTI-DESICCANT USING POWER SPRAY TO PROVIDE AN ADEQUATE FILM OVER TRUNKS, BRANCHES, STEMS, TWIGS AND FOLIAGE.

STAKE OR SUPPORT TREES AND PALMS IMMEDIATELY AFTER PLANTING AS REQUIRED.

PLANTS SHALL BE PRUNED TO REMOVE ALL BROKEN, DEAD AND DISEASED LIMBS. ANY CROSS-RUBBING WOOD SHOULD BE REMOVED TO PREVENT DISEASE. NEVER REMOVE MORE THAN ONE-QUARTER OF A LIVE TREE CROWN IN A SINGLE YEAR.

NO REQUIRED LANDSCAPE AREA OR LAND USE BUFFERS SHALL BE USED FOR ACCESSORY STRUCTURES, GARBAGE OR TRASH COLLECTION, PARKING OR ANY OTHER FUNCTIONAL USE CONTRARY TO THE INTENT AND PURPOSES OF CHAPTER 5 OF THE ENVIRONMENTAL MANAGEMENT ORDINANCE.

**6. FERTILIZER:**  
CONFORM TO ALL APPLICABLE STATE & LOCAL FERTILIZER LAWS AND MANUFACTURER'S INSTRUCTIONS.

TREES AND SHRUBS AND SOD: USE 15-5-15 GRANULAR, NON-BURNING PRODUCT, WITH MICRONUTRIENTS, AND HALF OF THE NITROGEN IS TO BE IN A SLOW RELEASE FORM. BROADCAST FERTILIZER OVER THE AREA OF ROOT GROWTH AT A RATE OF 6 POUNDS PER 1000 SQUARE FEET OF LANDSCAPE AREA. APPLY IN THE SPRING AND FALL.

PALMS: MATURE PALMS (I.E. WITH DEVELOPED TRUNKS) SHOULD RECEIVE A 15-5-15 GRANULAR SLOW RELEASE FERTILIZER FORMULATED FOR PALMS THREE TIMES A YEAR AT A RATE OF TWO TO FOUR POUNDS EACH APPLICATION. FOR PALMS WITHOUT TRUNKS: USE ONE TO THREE POUNDS OF FERTILIZER PER APPLICATION. SPECIAL PALM FERTILIZERS CONTAIN EQUIVALENT RATES OF NITROGEN AND POTASSIUM, ADDITIONAL MAGNESIUM, MICRONUTRIENTS AND SLOW RELEASE CHARACTERISTICS.

FERTILIZE AZALEAS, CAMELLIAS, GARDENIAS, AND DOGWOODS WITH THEIR OWN SPECIFIC FERTILIZER.

GROUNDCOVER (EXCLUDING SOD): APPLY ONE POUND OF NITROGEN, PER APPLICATION, PER 1,000 SQUARE FEET OF SURFACE AREAS, TWO TIMES A YEAR.

**MAINTENANCE SPECIFICATIONS:**

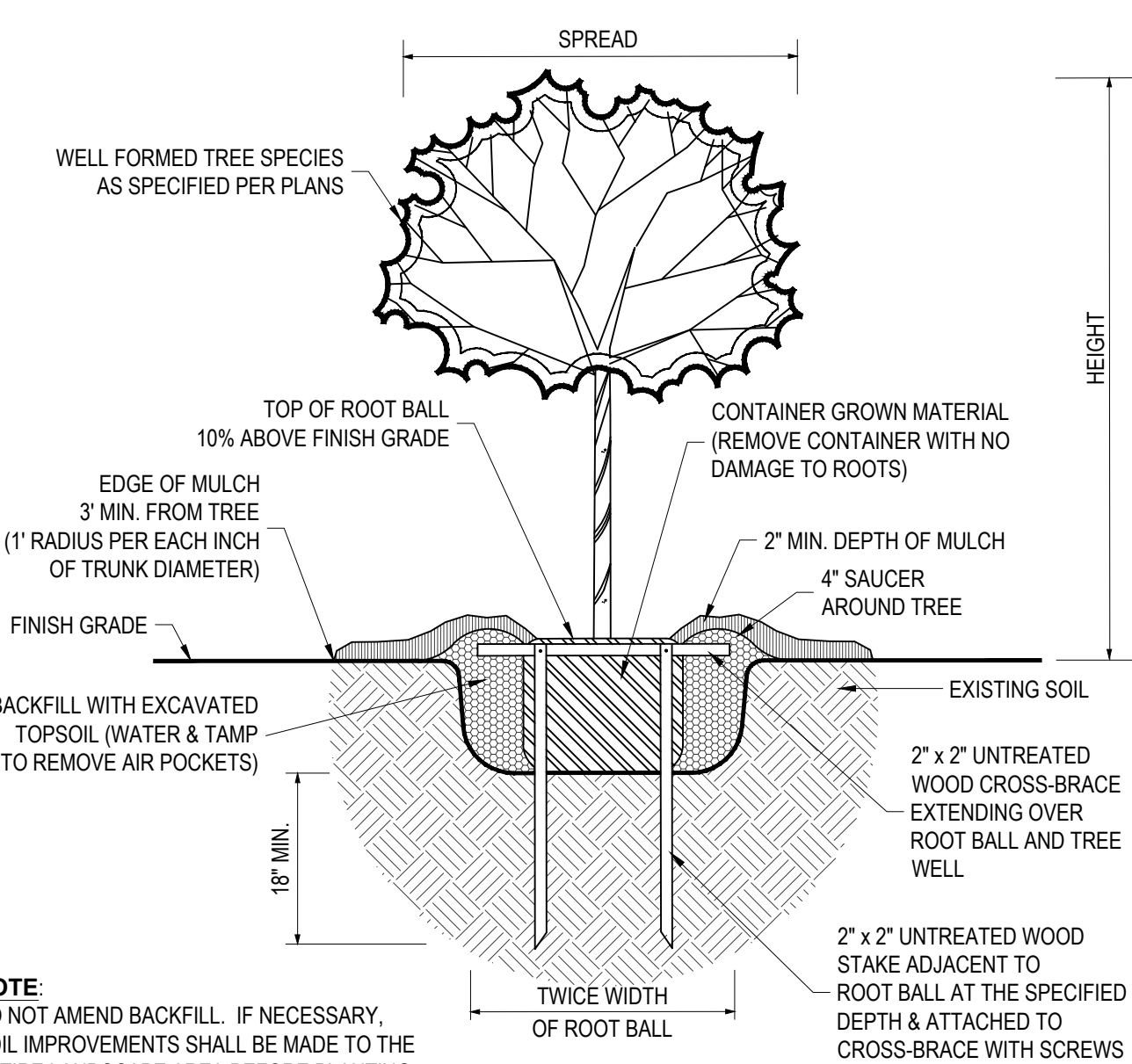
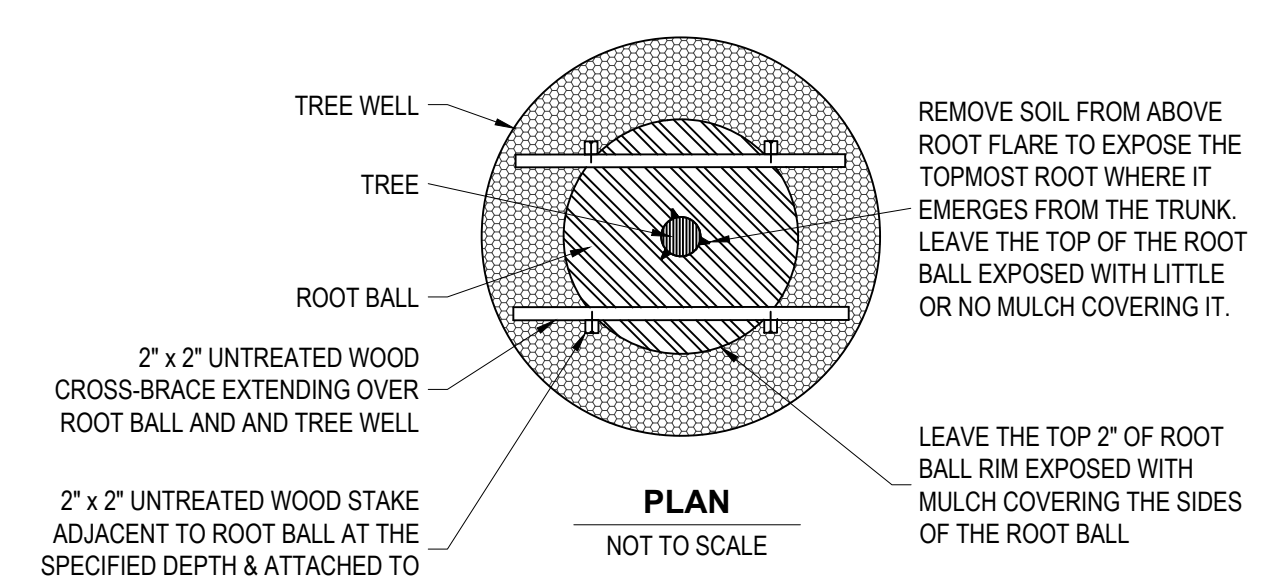
**1. PRUNING.** PLANTS SHALL BE PRUNED REGULARLY TO REMOVE ALL BROKEN, DEAD AND DISEASED LIMBS, ANY CROSS-RUBBING WOOD, SUCKERS AND WATER SPROUTS. SIGNIFICANT PRUNING SHOULD BE DONE IN LATE WINTER OR SPRING. NEVER REMOVE MORE THAN ONE-QUARTER OF A LIVE TREE CROWN IN A SINGLE YEAR. DO NOT PRUNE WHEN THE FLUSH OF NEW SPRING LEAVES ARE FORMING. DO NOT PRUNE BRANCHES WITH A FLUSH CUT, BUT INSTEAD CUT TO THE OUTSIDE OF THE BRANCH COLLAR. ALL PRUNING CUTS SHALL BE CLEAN AND FREE OF ANY PAINTS OR SEALERS. SPRING FLOWERING SHRUBS SHALL BE PRUNED IMMEDIATELY AFTER SPRING BLOOMING. SUMMER FLOWERING SHRUBS SHALL BE PRUNED IN LATE WINTER. AVOID EXCESSIVE "SHEARING" OF SHRUBS, WHICH PROMOTES UNHEALTHY GROWTH CONDITIONS. PRUNE SHRUBS IN THE SPRING AND SUMMER BY ALTERNATING HEADING BACK AND SHEARING TECHNIQUES. MINIMIZE FALL PRUNING AS THIS ENCOURAGES NEW GROWTH, WHICH IS SUSCEPTIBLE TO COLD DAMAGE. HEDGES SHALL BE TRIMMED SO THAT THE BOTTOM IS WIDER THAN THE TOP. SHRUBS SHALL BE PRUNED NO LESS THAN, BUT NOT LIMITED TO THE REQUIRED HEIGHT OF THE PARTICULAR SITUATION FOR IT IS BEING UTILIZED, I.E., PERIMETER SHRUB AT MINIMUM 30", SIGHT TRIANGLE HEIGHT OF NO HIGHER THAN 3.5 OR 4.25 FEET, OR ANY OTHER VISUAL HEIGHT REQUIREMENTS. MAINTAIN THE SIZE AND PROPORTION OF PLANTS TO ONE ANOTHER AND TO THE LANDSCAPE AS A WHOLE.

**2. FERTILIZER.** FERTILIZER MAY BE APPLIED IN THE SPRING AND FALL (USE LOW NITROGEN IN THE FALL), IN THE SPRING BROADCAST 15-5-15 FERTILIZER OVER THE AREA OF ROOT GROWTH AT A RATE OF SIX (6) POUNDS PER 1,000 SQUARE FEET. IN THE FALL BROADCAST 15-5-15, 5-5-20, 5-0-15 OR 5-0-20 FERTILIZER OVER THE AREA OF ROOT GROWTH AT A RATE OF TEN (10) POUNDS PER 1,000 SQUARE FEET. USE A GRANULAR, NON-BURNING PRODUCT, WITH MICRONUTRIENTS AND HALF OF THE NITROGEN IS TO BE IN A SLOW RELEASE FORM. FOR AZALEAS, CAMELLIAS, GARDENIAS, AND DOGWOODS, USE A SPECIFIC, ACID-RICH FORMULA. FOR PALMS USE SPECIAL PALM FERTILIZERS WHICH CONTAIN EQUIVALENT RATES OF NITROGEN AND POTASSIUM, MICRONUTRIENTS AND ADDITIONAL MAGNESIUM. FERTILIZER SHALL BE APPLIED PER MANUFACTURERS INSTRUCTIONS. NUTRIENT ABSORPTION WILL BE AFFECTED BY SOIL PH. SPECIFIC EVALUATION OF THIS NUTRIENT/PH RELATIONSHIP MAY BE NECESSARY IF PLANT PERFORMANCE IS LOW.

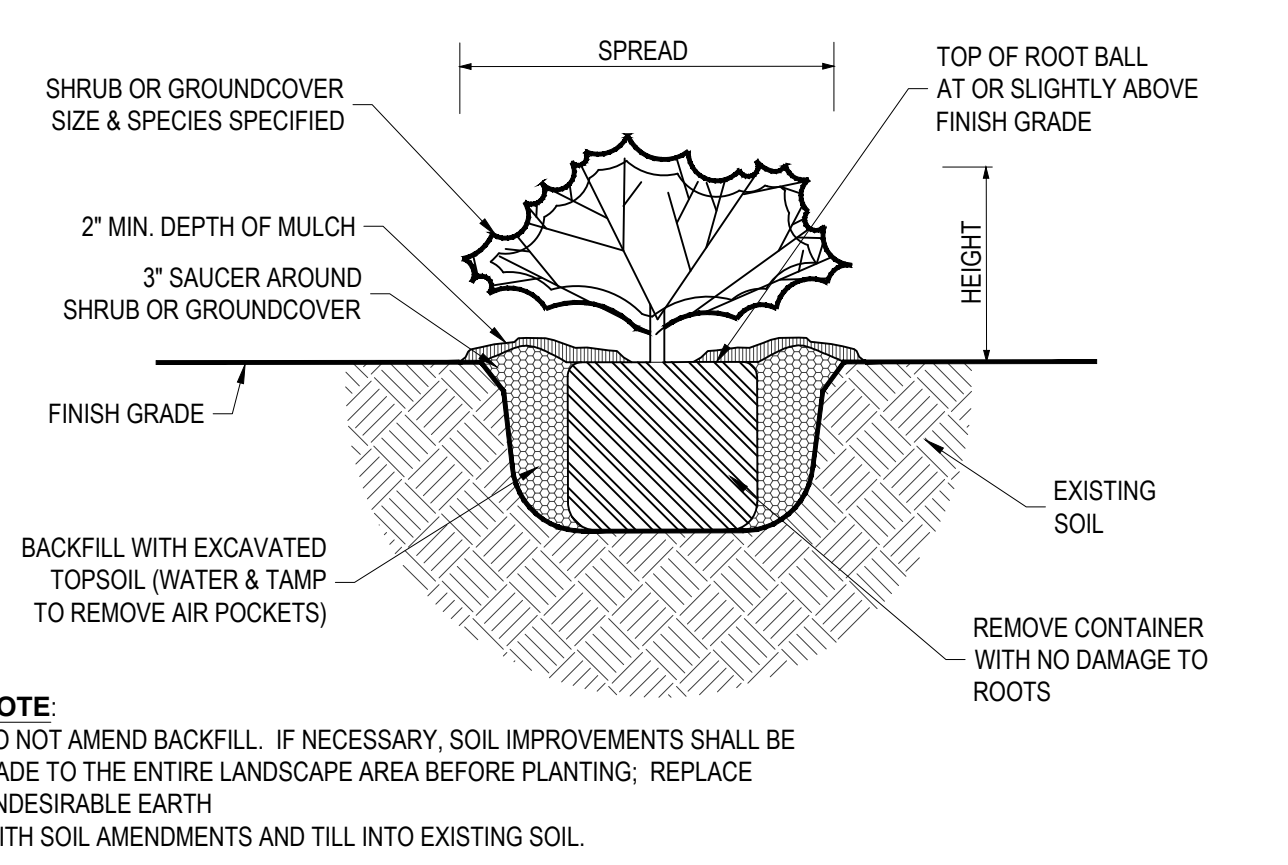
**3. PEST CONTROL.** PEST CONTROL SHOULD ONLY BE APPLIED AS NECESSARY. AN INTEGRATED PEST MANAGEMENT SYSTEM FOR ESTABLISHING A HEALTHY ENVIRONMENT FOR PROPER GROWTH CONDITIONS IS THE PREFERRED METHOD FOR PEST CONTROL. NON-TOXIC HORTICULTURAL OIL RECOMMENDED. APPLY A BROAD-SPECTRUM FOLIAR HERBICIDE TO MULCHED AREAS AS NEEDED BY SPOT SPRAYING. APPLY PRE EMERGENT FOLIAR HERBICIDE SPRAY TO LAWNS IN LATE WINTER AND POST EMERGENT FOLIAR HERBICIDE SPRAY TO LAWNS IN EARLY SPRING.

**4. MOWING.** MOW TURF TO A CONSISTENT HEIGHT OF 2-3" FOR CENTIPEDE AND 3-4" FOR ST. AUGUSTINE AT A MINIMUM OF TWO-WEEK INTERVALS DURING GROWING SEASON. USE MULCHING MOWER TO RECYCLE NUTRIENTS. DE-TATCHING AND AERATION MAY BE PERFORMED EVERY 2-3 YEARS OR AS NEEDED.

**5. WATERING.** THE MINIMUM WATERING SCHEDULE FOR NEWLY PLANTED MATERIAL SHALL BE A MINIMUM OF 1" PER WEEK. WATER SHOULD BE APPLIED IN THE EARLY MORNING HOURS. WATER REGULARLY FOR TWO YEARS OR UNTIL ESTABLISHED. DEEP, INFREQUENT SOAKINGS, WHICH ALLOW THE SOIL MOISTURE TO DRAIN, IS THE WATERING METHOD PREFERRED FOR ESTABLISHED PLANTS. THIS TYPE OF SOAKING WILL ENCOURAGE A DEEP ROOT SYSTEM, WHICH WILL ENABLE THE PLANT TO WITHSTAND PERIODS OF DROUGHT.



**TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB AND GROUNDCOVER DETAIL**  
NOT TO SCALE

**UB 24-2 Specifications  
24" DeepRoot® Tree Root Barrier**

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications, in varying uses.

**A. Materials:**  
1. The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be either product #B0.24-2, as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deeproot.com (800.458.7668).

2. Root barrier shall be recyclable, black, injection molded panels with 0.007" (0.18 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.

3. Root barrier shall be manufactured with 75% recycled polypropylene with added ultraviolet inhibitors.

4. Root barrier shall be comprised of 24" (609.6 mm) panels. Each panel shall have no less than four (4) Molsted Integral Vertical Root Directing Ribs of a minimum 0.075" (1.90 mm) thickness, protruding 1/2" (12.7 mm) at 90° from the face of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & D)

5. Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" (1.52 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

6. Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness in the base of a segment of an oblong, the 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The two ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (four (4) between each set of ribs, see Details B & C).

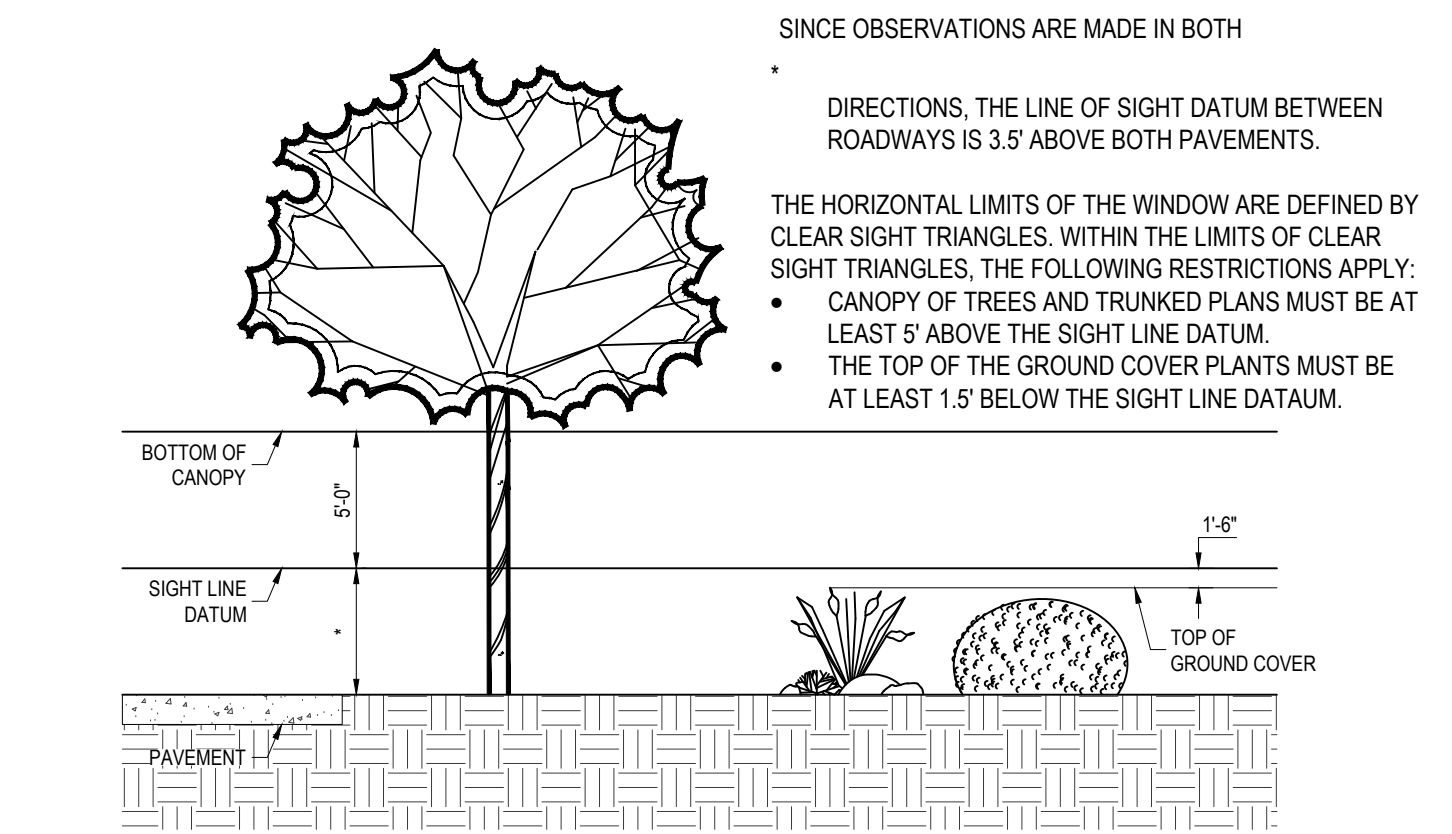
7. Root barrier shall have an integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield elongation - Wall	7.42%	D638
Yield elongation - Hinge	7.07%	D638
Tensile Modulus	119,625 PSI	D790B
Notched Izod Impact - Wall	3.84 (ft-lb)	D256A
Rockwell Hardness, r, scale - Wall	84.4	D785A

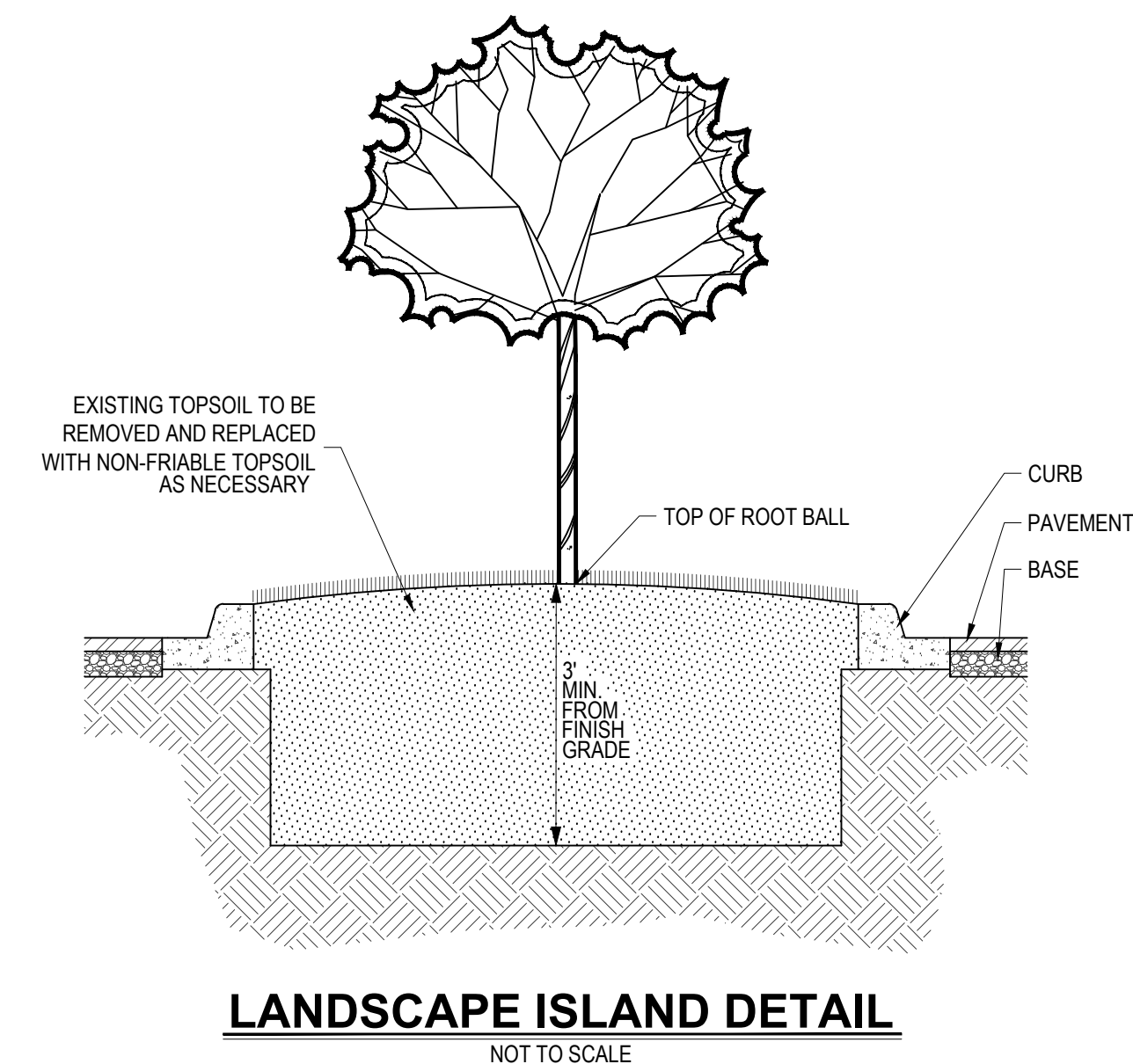


**DETAIL D - TREE ROOT BARRIER PANEL**

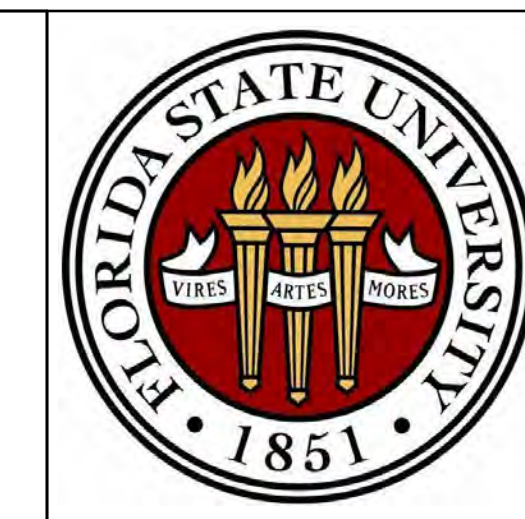


**CLEAR SIGHT WINDOW DIAGRAM**

EXHIBIT C, CITY OF TALLAHASSEE STREET TREE PLANTING STANDARDS, JULY 2020  
NOT TO SCALE



**LANDSCAPE ISLAND DETAIL**  
NOT TO SCALE



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12920 SW 1st Road, Ste 205  
New Smyrna Beach, FL 32966  
Tel 352.376.5500  
License #: CA-5140

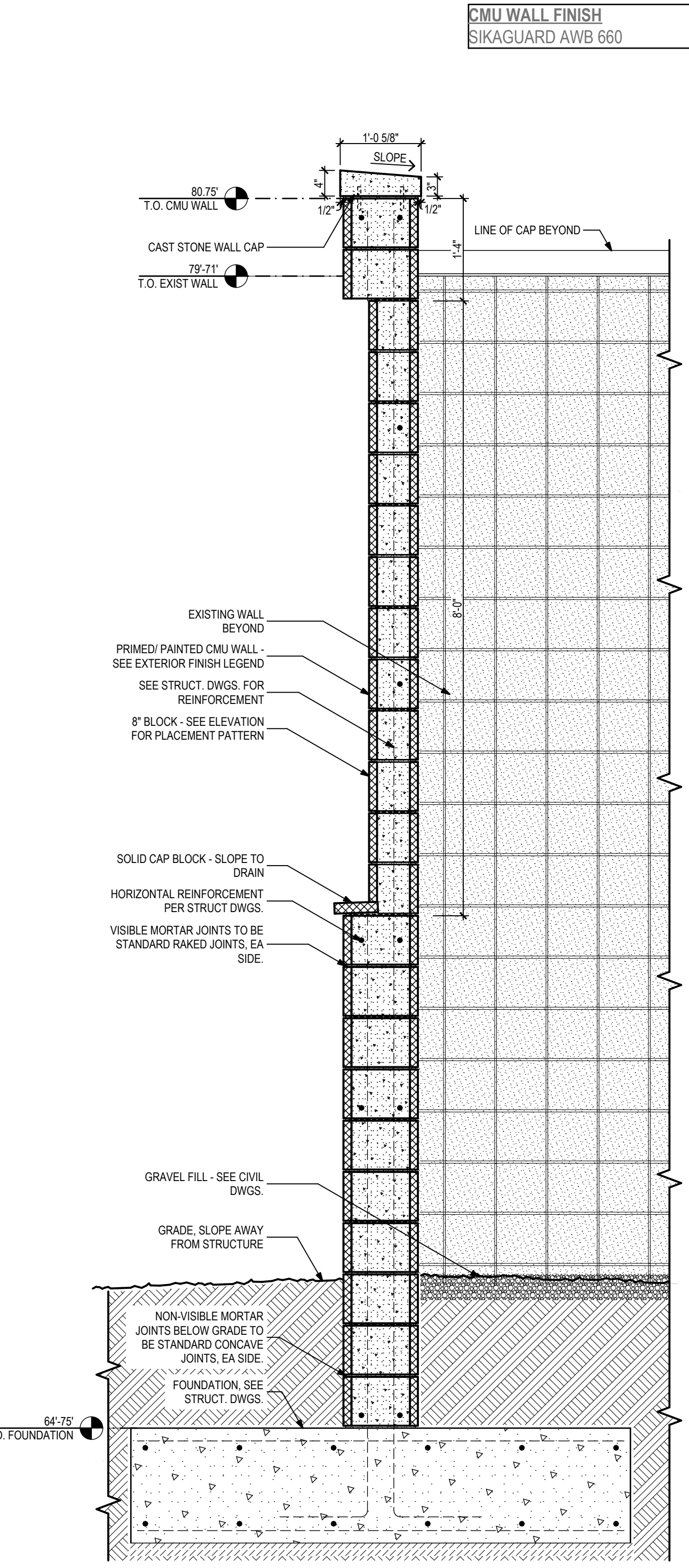
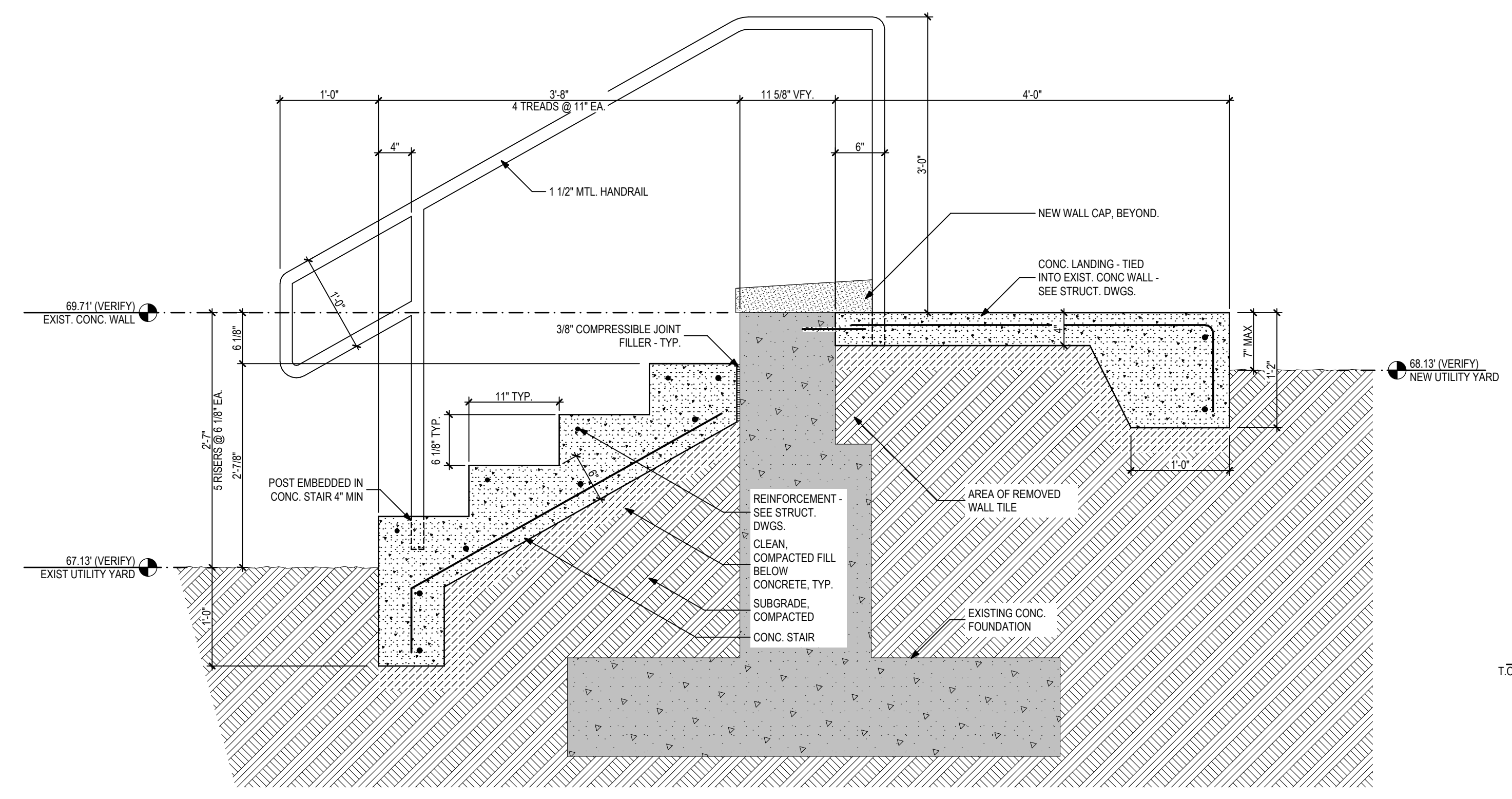
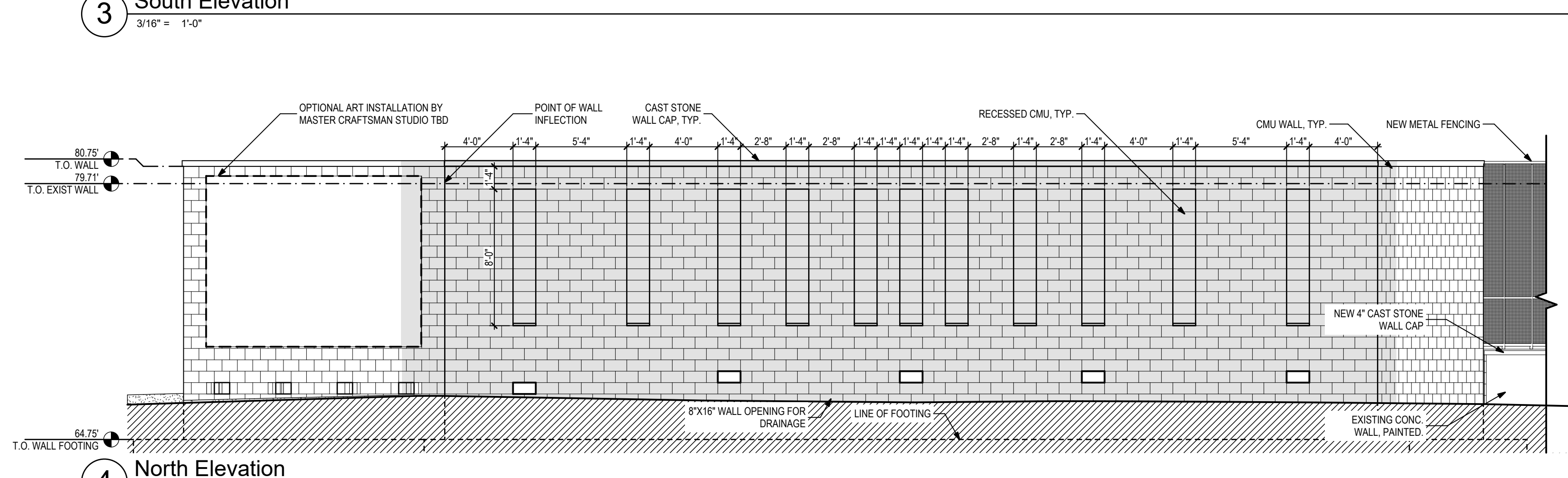
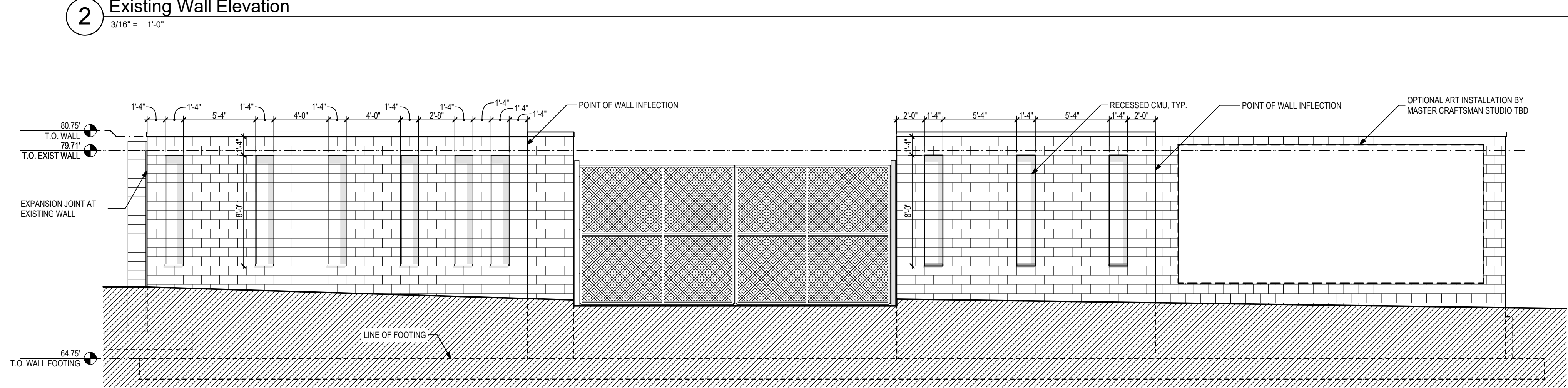
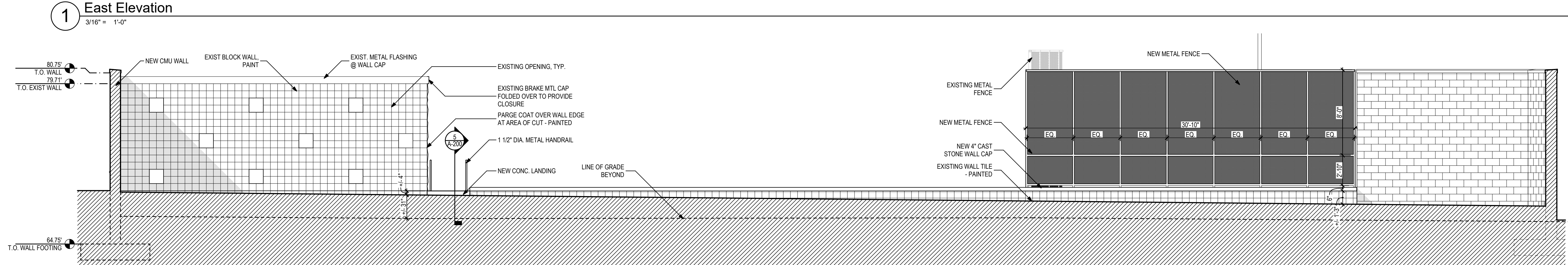
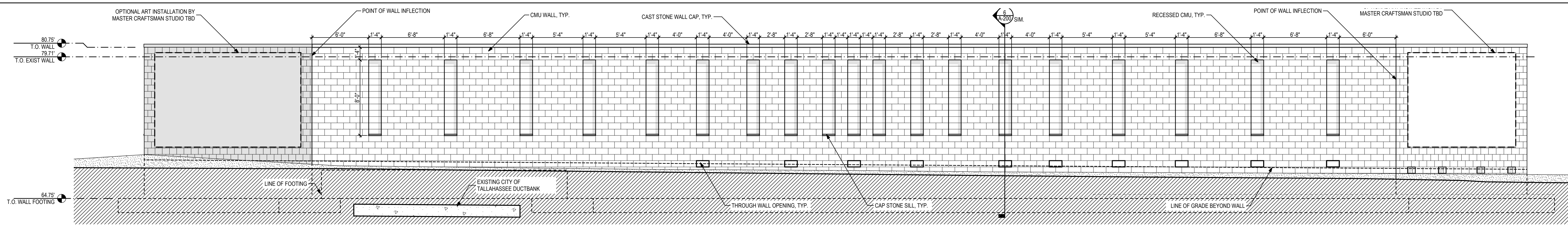


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Issuance and Revisions		
Rev	Date	Description

Project Title  
**FS-2000062  
FSU NHMFL  
SWITCHGEAR  
& DYNAMIC  
VAR SYSTEM  
REPLACEMENT**

Project Phase  
**60% CONSTRUCTION  
DOCUMENTS**

Sheet Title  
**Screen Wall Elevations  
and Details**

Scale  
AS SHOWN

Date Issued  
03/27/2025

Project No.  
SSC-19138-286  
AEI: 24744-00

Sheet No.  
**A-200**

NOT FOR CONSTRUCTION